


REVISED GUIDELINES

APPROVED BY BOARD

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MAILED TO ALL  
ASSOCIATION MEMBERS

# DESIGN GUIDELINES

## FOR RESIDENTIAL PROPERTIES

The Truman Annex Master Property  
Owner's Association, Inc.

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# Contents

I.	INTRODUCTION	1
II.	REVIEW AND APPROVAL PROCESS	3
III.	SPECIAL PROVISIONS	10
IV.	SITE DESIGN GUIDELINES	12
	A. SINGLE FAMILY	
	B. MULTI-FAMILY	
V.	ELEMENT DESIGN GUIDELINES	12
	A. ARCHITECTURE: SINGLE FAMILY	12
	B. ARCHITECTURE: DETAILS	13
	C. SITE FIXTURES	14
	D. LANDSCAPE PLANTING	17
	LIST OF APPROVED PLANT MATERIALS	19
	EXHIBIT 1: CONSTRUCTION AGREEMENT	20

# Introduction

Article VIII of the Declaration of Covenants, Restrictions and Easements for the Truman Annex (hereinafter referred to as the "Declaration") establishes the right of the Architectural Control Committee (hereinafter referred to as the "Committee") to approve and disapprove, pursuant to a set of specific development and design guidelines, residential construction within Truman Annex. This manual of Design Guidelines shall serve as a check list for the Committee to use in evaluating and controlling the quality and adequacy of residential construction proposals, renovation programs, and designs of owners within the Truman Annex community. The design review process and design guidelines, as administered by the committee, will encourage harmonious architectural design and siting. The intent is to preserve the Truman Annex community as it exists in 1999 at build-out. They will also enhance the quality of life within the Truman Annex community as well as protect property values. The Committee has been established to review and approve all plans for construction. In addition to the process herein set forth, there are mandatory regulations and codes at the local and state levels which also must be followed. The responsibility for compliance with said regulations rests with each Owner. The criteria presented herein are not intended to take precedent over any rules, regulations, or requirements of any regulatory agency having jurisdiction over the Truman Annex. The approval of the Committee does not and shall not relieve the Owner of the responsibility of compliance with the rules and regulations of such agencies including, without limitation, the City of Key West and its Historic Architectural Review Commission. Owners shall familiarize themselves with the sections of the City of Key West Zoning Ordinance, Buildings Code and other Codes which are applicable to their respective development project.

## **THEME**

The principal design theme promulgated by these design guidelines is:

## **REFLECTION OF THE KEY WEST OLDTOWN VERNACULAR**

## **GOALS**

The Committee, by implementation of the design guidelines, seeks and intends:

- a. To establish a community appearance and general aesthetic that is reflective of and compatible with the adjacent Old Town District of Key West.
- b. To establish and maintain a community scale and aesthetic that is respective of and compatible with the Truman Annex National Historic District and the Key West National Historic Districts.
- c. To establish physical conditions that will produce value and assure the long term preservation of value

# REFERENCES AND CREDITS

Several resources were consulted in the preparation of these Guidelines. Buyers and their Architects are referred to these:

- Wells, Sharon, and Lawson Little, Portraits: Wooden Houses of Key West, Historic Key West Preservation Board/ Florida Department of State, 1982.
- Langley, Joan & Wright, Key West: Images of the Past, Key West: Christopher C. Belland & Edwin O. Swift, III, 1982.
- Windborn, Stan, and Wright Langley, Yesterday's Key West, Key West: The Langley Press, 1973.
- Kaufett, Lynn Mitsuko, Key West Writers and Their Houses, Englewood: Pineapple Press! Inc, 1986.
- Sherrill, Chris & Roger Aielbo, Key West, The Last Resort, Atlanta: Villa Press, 1978.
- HARC Guidelines. Copies available from HARC.
- Cultural Resource Survey of Key West Architectural (1977): Copies available from HARC or Truman Annex Company.

The ultimate and essential reference is an extensive walk through Key West Old Town.

# Review and Approval Process

The Architectural Control Committee will make all decisions based upon the "Declaration of Covenants, Restrictions and Easements for the Truman Annex", as the same may be amended and upon the design guidelines contained herein.

## **LEGAL BASIS FOR DESIGN REVIEW**

The Declaration of Covenants, Restrictions and Easements for the Truman Annex provides the legal basis for reviewing and accepting construction proposals. It covers a wide variety of subjects including site and land use planning, building design, materials, landscaping of property, and other development standards. Those standards and requirements included in the Declaration are legally binding. The Design Guidelines supplement the Declaration and provide further design guidance and information for property owners, architects, and builders.

Time and care have been taken to ensure that these guidelines do not conflict with the Declaration. However, should a conflict arise, the Declaration takes precedence. Careful review of the Declaration should be undertaken before the design process is begun.

## **DECISION CRITERIA OF THE ARCHITECTURAL CONTROL COMMITTEE**

1. The Committee encourages sensitive site planning and diverse architectural styles which conform to the Design Guidelines and the Declaration. Owners should strive to preserve the integrity of the natural environment, to remove a minimal amount of the native vegetation, to remove no trees, and to promote minimal disturbance of the natural site features.
2. If questions arise with implementation of the guidelines, policies, and procedures of the Committee, every effort will be made by the Committee to address the issues and clarify the intent of the Committee. The policies and guidelines will be subject to periodic review and revision by the Committee.
3. Should a particular feature or an entire design be determined to fall short of the development objectives, it will not be construed as a mandated precedent.
4. Housing should be designed for the specific site and for the particular need of its users. Therefore, construction proposals shall be reviewed on a site-by-site basis. Approval of a design for one site will not necessarily mean the same design will be approved for any other site.

## **EXISTING VEGETATION PRESERVATION AND LANDSCAPE MATERIALS:**

The Owner shall make every effort to preserve existing vegetation on each site and site plans shall reflect this effort. Appropriate procedures consistent with the best practices of tree preservation must be employed at each site.

## **DESIGN REVIEW PROCESS**

Plans for all new construction, subsequent alterations, or additions must be reviewed and approved in writing by the Committee prior to the initiation of construction. If construction is started prior to the receipt of written approval by the Committee, the property owner shall be deemed in violation of the Design Review Process and shall be subject to penalties and corrective measures, as determined by the Committee.

## **DESIGN AND REVIEW AND APPROVAL SEQUENCE**

1. Owner Meets informally with Architectural Control Committee to discuss plans and to obtain assistance in the Application Process.
2. Owner Submits application and plans.
3. Committee Upon acceptance of application, the Architectural Control Committee conducts a review of the application, plans and stakeout of the proposed structure(s).
4. Owner Obtains City of Key West Building Permit.
5. Committee Final review of stakeout and, upon approval, issues Design Building Permit.

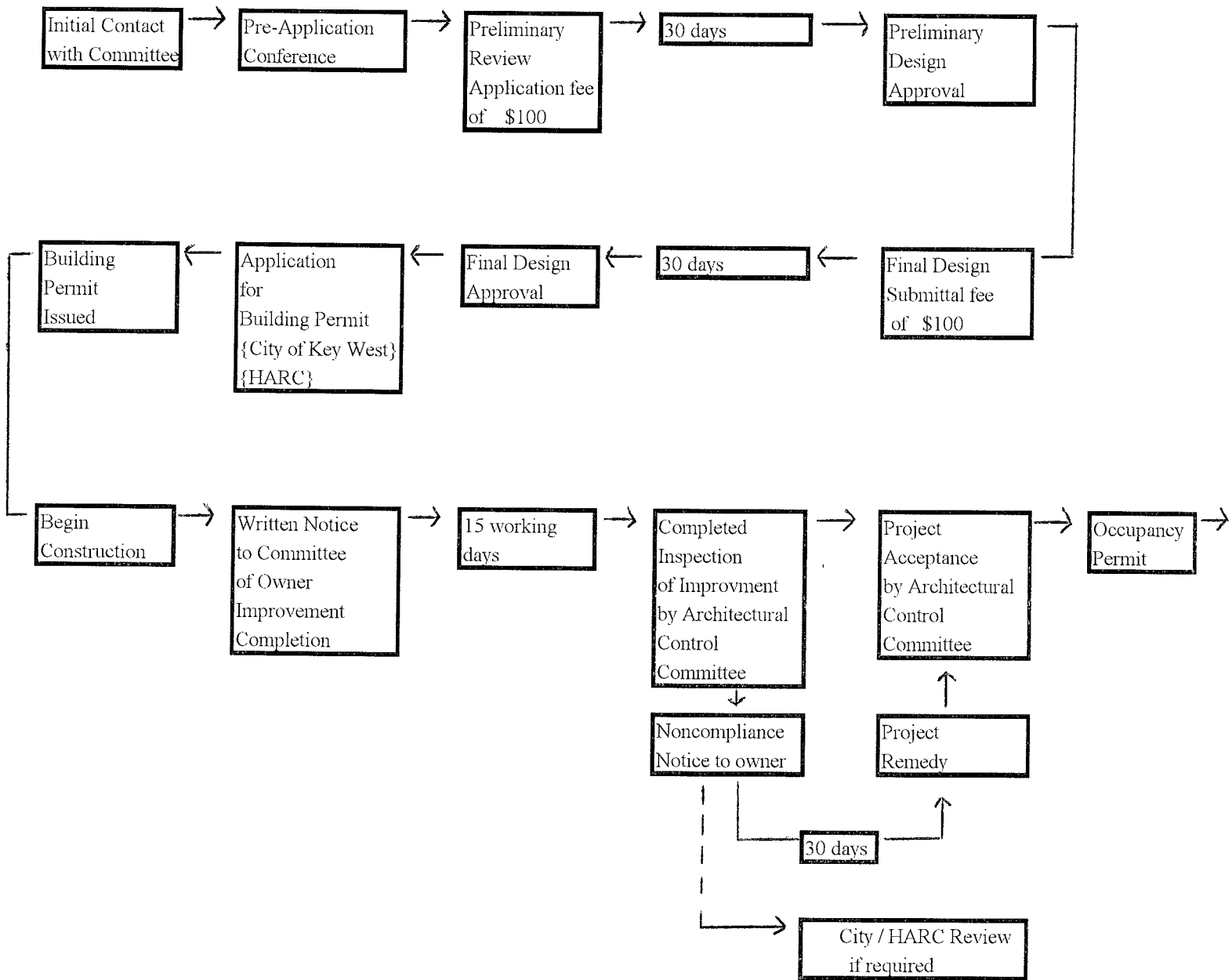
## **CONSTRUCTION PLANNING**

It is strongly recommended that property owners consult an architect familiar with the development standards at the Truman Annex and with the applicable local and state codes and regulations.

The members of the Committee will assist in the interpretation of the design guidelines and offer informal suggestions about your design concept prior to the initiation of the formal design review process and will work with you during the application process to ensure that your proposal receives prompt consideration.

It is essential that the design approved by the Committee be built exactly as indicated on the approved plans. THE PLANS WHERE REQUIRED BY LAW OR AS HEREIN SPECIFIED SHALL BE PREPARED, SIGNED, AND SEALED BY A REGISTERED PROFESSIONAL ARCHITECT, ENGINEER, AND/OR LANDSCAPE ARCHITECT LICENSED TO PRACTICE IN THE STATE OF FLORIDA. Deviations from plans which occur will be subject to penalties unless such deviations are approved in writing by the Committee prior to construction.

# Review and Approval Process Diagram





## **PRE-APPLICATION CONFERENCE**

The owner and architect are encouraged to meet with the Committee to discuss plans. The Pre-Application Conference provides the owner with the opportunity to talk over preliminary sketch ideas, to discuss development philosophy, and to answer any questions.

To avoid having design issues delay the review process and to help avoid generating costly architectural plans that may be inappropriate, it is recommended that the owner and architect bring the following items to this meeting:

1. Site plan sketch showing components of proposed parcel improvements including location of dwelling and existing vegetation.
2. Sketches of dwelling exterior (elevations) and other structures proposed.
3. Photographs of existing site features and improvements. Keep in mind that this is an opportunity to exchange ideas and all drawings are considered conceptual. Extensive detail is not necessary at this point. The Design Review and Approval Process is intended to be a helpful and beneficial process. The Committee shall assist in expediting applications and approvals through this process. In order to do so, early cooperation and coordination is necessary.

The Pre-Application Conference is optional. We would, however, encourage applicants to take advantage of this opportunity.

## **PRELIMINARY REVIEW APPLICATION**

The applicant shall complete a preliminary stakeout showing approximate size and location of proposed improvements, and submit an application to the Committee.

The preliminary design review application shall include:

1. Two sets of the following documents:

Site plan(s) (at a scale no smaller than 1"=10') indicating building location, any accessory improvements, internal site circulation, parking, utility locations, and preliminary concepts for landscape (including a plant list), site lighting, signage, and any proposed construction or development phasing.

Floor and roof plans (at a scale no small than 1/8"=1'0").

Survey of existing vegetation and topography at the same scale as the site plan.

Outline report covering total building area (gross); roof area; preliminary evaluation of total signage requirements; total parking lot area and number of parking spaces; and total area of landscaping within the paving setback lines.

Name, address, and telephone number of Architect, Landscape Architect, and Engineer where applicable.

Name of any special consultant.

Time Schedule - Target time periods for completion of subsequent phases.

Any requests for variance from design standards.

The Committee shall have thirty (30) days after delivery of all required materials of comment upon the preliminary design documentation. Upon receipt of said comments, the owner may then submit to the Committee final design plans.

### **FINAL DESIGN SUBMITTAL AND REVIEW**

Final design plans, including all exhibits outlined below, are to be submitted to the Committee. The Committee will review this submittal and will respond within thirty (30) days after the delivery of all required materials, including, without limitation, two sets of the following documents:

Complete architectural, engineering, and landscape plans and specifications required to construct the improvements.

Site plan(s) (at a scale of not less than 1"=10' indicating building location, accessory improvements, all parking areas, circulations, existing and final grade lines, drainage, utility locations and sizes, site lighting, and any development phasing.

Floor and roof plans (at a scale no smaller than 1/8"=1'0").

All exterior elevations both existing and proposed grade lines shall be shown.

Typical exterior wall sections (at a scale no smaller than 1/2"=1'0").

Cross sections of structures indicating existing and proposed grade lines.

Complete outline specifications for all exterior materials, landscaping (including plant list), site furniture, site lighting, signage, paving materials, and building colors.

Samples of all exterior materials and colors including windows and glass (if other than clear).

Site plan showing location, size, and type of all existing vegetation indicating which trees the Owner intends to save.

Landscape site plan (at a minimum scale of 1"-10') showing the location, name, and size of all plant material.

Special grading and storm water retention requirements.

Irrigation plan (if desired).

Plant materials list.

Detail plans of planter beds.

Location plan of and details for all site furniture and special site features such as, but not limited to, pools, fountains, arbors, and berming.

Landscape lighting plan.

Signage submittals (as outlined in the site design section of these Guidelines).

A report of the Owner's proposed timetable of start and completion of construction by phases, if any; total floor area by phase, proposed completion of phase one landscaping; proposed utility loads of requirements; copies of any proposed joint agreements with other Owners relative to joint improvements such as walkways, drives, lighting, and landscaping.

A statement by the Owner of a changes in design which are contained in this submission as opposed to the preliminary design review application.

UNTIL RECEIPT BY THE COMMITTEE OF ANY REQUIRED PLANS AND SPECIFICATIONS, THE COMMITTEE MAY POSTPONE REVIEW OF ANY PLANS SUBMITTED FOR APPROVAL.

### **COMMITTEE ACTION**

Within thirty (30) days of the receipt of the Application, the Committee will review the application for completeness.

If incomplete, the applicant shall be notified of additional information required. The Committee shall not act on any application until such additional information is received.

Once the application is complete, the applicant will be so notified in writing and the Committee shall then have thirty (30) days within which to review the application, inspect the site for compliance with the plans, and make its final decision. If no action is taken by the Committee within the thirty (30) day period, the application shall be considered approved as submitted.

Committee Approval: When compliance has been ascertained, the plans shall be stamped "Approved for Design Compliance".

Architectural Control Committee Rejection: The Committee may offer specific suggestions to assist in resolving problems which arise during the review process. The Committee can, however, reject an application based on the judgement of its members. Reasons for rejection include, but are not limited to, the following:

- Insufficient information to adequately evaluate the design or design intent.
- Poor overall design quality.
- Incompatible design elements.
- Inappropriate design treatment.
- A design thought to have an adverse impact on the character of the Truman Annex.

In the event of any disapproval by the Committee of any of the required submittals, the resubmission will follow the same procedure as the original submittal.

### **CITY OF KEY WEST BUILDING PERMIT**

Approval by the Committee and the issuance of the Design Building Permit (as described in Paragraph "G") does not preclude the approval from the Historical necessity of obtaining: (i) design approval from the Architectural Restoration Commission; and (ii) a Building Permit from the City of Key West. Once the City of Key West Building Permit is obtained, the applicant should post the City Permit on the construction site.

### **COMMENCEMENT OF CONSTRUCTION**

Prior to commencement of any site clearing or construction activities, the owner shall clearly identify on the site with stakes the location of all property lines, and proposed construction including main building(s), decks, patios, driveways, parking areas, major grade modifications and utility lines.

Owner shall notify the Committee upon completion of said activity. The Committee shall inspect the site within ten (10) business days for compliance with the approved plans. When compliance has been ascertained and the applicant has signed the Construction Agreement, (attached as Exhibit 1) a Design Building Permit will be issued. The Permit must be posted and maintained in a visible manner next to the City of Key West Building Permit on the construction site.

### **WORK IN PROGRESS**

The Committee may inspect all work in progress and give notice of non-compliance. Absence of such inspection or notification during the construction period does not constitute approval of the work in progress or compliance with the provisions of these Guidelines.

## **PROJECT COMPLETION**

Upon completion of the improvement for which final plan approval is given by the Committee, the Owner will give written notice of improvement completion to the Committee.

Within such reasonable time as the Committee may determine, but in no case exceeding fifteen (15) working days from the receipt of such written notice of completion from the Owner or its duly authorized representative, the Committee may inspect the improvements. If it is found that such work has not been done in strict compliance with the final plan submitted or required to be submitted for its prior approval, the Committee shall notify the Owner in writing of such noncompliance within such period specifying in reasonable detail the particulars of noncompliance and shall require the Owner to remedy the same.

If upon expiration of thirty (30) calendar days from the date of such notification by the Committee, the Owner shall have failed to remedy such noncompliance, the Committee shall notify the Owner and may, at the Owner's expense, take such action to remove the non-complying improvements, as is provided in these Guidelines.

If, after receipt of written notice of completion from the Owner, the Committee fails to notify the Owner of any failure to comply with its directives within the period provided above, the improvements shall be deemed to be in accordance with the plan.

## **RIGHT OF WAIVER**

The Committee reserves the right to waive or vary any of the procedures or standards set forth herein at its discretion.

## **FEES**

Review fees of \$100.00 each shall accompany the Preliminary Review Application and the Final Design Submittal.

## **ADDITIONAL RENOVATION RULES**

- A specific time frame will be assigned to the project to be completed within.
- Projects will only be assigned times between March 15 to October 15.
- No more than one (1) renovation project per street will be permitted on any of the Association's eight (8) streets.
- Permits for contractor parking will be assigned per project. Locations will be on the south side of both Southard Street and Admirals Lane.

# Special Provisions

## MASTER PLAN

The master plan for the Truman Annex establishes the land use and intensity of development within all portions of the Truman Annex development and, as such, is a basic reference document to these Guidelines. These Guidelines further define the design details which shall be applicable to development of residential uses within the specific parcels of the Master Plan.

## ZONING AND VARIANCES

All of the property within Truman Annex is the subject of a Development Agreement with and a Development Order issued by the City of Key West. Therefore, the development of all of the sites within the various parcels of Truman Annex must be developed within the Development Agreement, the Development Order, the provisions of the Declaration of Covenants, Restrictions and Easements for The Truman Annex, these Guidelines, and any other applicable government regulation.

The Owner is hereby strictly prohibited under these provisions from applying or asking any regulatory agency for variances or modifications to the regulations governing the development of Truman Annex without representation by the Truman Annex Master Property Owner's Association or the prior written approval of the Truman Annex Master Property Owner's Association.

## MAINTENANCE

Each Owner is responsible for the perpetual maintenance of the property following final approval of construction.

Maintenance means: all normal and necessary building, site elements, landscape, irrigation, grass, signs, lighting fixtures, and paved walkway maintenance services required to properly maintain and operate any developed parcel, including but not limited to painting, patching, collecting windblown debris, irrigating, mowing, weeding, fertilizing, repairing, maintenance and adjustment of the irrigation systems and other devices within the development, spraying, replacement of dead or unhealthy plants, painting and repairing signs, light fixtures, replacement of light bulbs, repairing paved walkways, payment of energy charges incurred including energy for lighting and such other activities and services indicative of good husbandry and maintenance practices in high quality residential areas.

## PARKING & DRIVEWAYS

Each Owners shall provide sufficient on-site paved surfaces for vehicular parking and maneuvering requirements associated with the Owner's site. All pavement areas and driveways shall be properly designed and constructed of durable, approved, and dust-free materials in accordance with standard engineering practice, suitably sloped and drained, and shall be of a strength adequate for the traffic load expected.

The drainage flow line which exists with a curb and gutter shall be maintained across all entry driveways through the use of an approved concrete swale located along the line of the removed curb and gutter section.

The perimeter of all pavement areas, adjacent to existing or designated road rights-of-way and landscape planter beds contiguous to or within pavement areas shall be curbed. Paved parking areas located along the side and rear property lines which are not adjacent to road rights-of-way may be edged with ribbon or flush curbs.

However, any parking spaces located along such lines shall be provided with wheel stops set back two (2) feet from the edge of paving. Vehicular parking stalls shall be striped in a durable, traffic bearing paint or similar substance.

### **DRAINAGE**

The Owner of each multi-family parcel is responsible for meeting all storm water quality requirements of the City of Key West, South Florida Water Management District and State of Florida.

In order to preserve the urban character of Truman Annex and Key West Old Town, the Committee recommends consideration of porous asphalt or porous concrete parking areas. Proper design and maintenance of such pavement can eliminate or greatly reduce the need for swales and other storm water retention areas.

### **UNDERGROUND UTILITIES**

All electrical, television cable, and telephone service as well as any other wired services shall be located underground from the source to the building(s) and brought into the site from the nearest available source. Such source location shall be coordinated with and approved by the Committee. The Owner shall be responsible for the cost of such underground service.

### **OFF-SITE CONSTRUCTION**

Any required removal and replacement of existing or Committee installed improvements such as curbing, paving, grade lines, and landscaping located within a road right-of-way or easement or on the property of other Owners with respect to the construction or installation of utilities, driveways, and sidewalks shall be by a Committee-approved contractor and shall be in accordance with Committee-approved specifications.

### **SOLID WASTE AND REFUSE REMOVAL**

The disposal of solid waste and refuse must be in conformance with the system of disposal used in Truman Annex and must comply with the State Board of Health requirements. Collection areas and equipment used in connection with solid waste and refuse shall be adequately screened and shall not be located any closer than ten (10) feet from any side or rear property line and shall not be located forward of the front building setback line. Solid waste and refuse disposal services will be supplied by the City of Key West or its franchisee or an option developed by the Homeowners or similar association.

# Site Design Guidelines

This section sets forth standards which are intended to guide achievement of the basic Old Town rhythm of building spacing, site coverage and landscape placement.

The single-family lots have been planned with a front facing on a secondary street walkway. The site elements and landscape planting standards are intended to create a front yard area which, while secure, is open to public view and thus contributes to the general street scene. Standards are established for minimum setbacks (or maximum site coverage), placement of site elements, and location of landscape materials.

## Element Design Guidelines

### A. Architecture: Single Family

Within the Key West Old Town Vernacular theme, the objective for Single family design is to produce a style that is reflective of the Key West “Conch House” and its variations. This style is principally expressed in wood framed structures which range from a predominance of simple classical ornamentation to those which are highly ornamental in a Victorian motif. Simple rectangular forms, usually two stories in height, are accented by steep roofs, porches, balconies, dormers, widow walks, and cupolas. Windows and doors are usually adorned with shutters – New England, Bahamian, movable louver. Wooden ornamental scroll work, balustrades, spindles and brackets adorn the facades. The overall character is derivative of many styles. Key West Old Town structures and the older residences in Truman Annex are themselves the true guide to this style.

It is the objective of the Architectural Control Committee to achieve development of residential structures that are in scale and visual harmony with other single family structures of the project and Old Town. This is to be achieved by use of articulated forms, broken roofs, turrets, balconies, porches, and ornamental detailing.

Long, flat wall surfaces, and long unbroken or flat roofs are to be avoided.



# B. Architectural Details

## MATERIALS

- Walls: Horizontal wood clapboard shall be the primary wall material. Patterned lap shingles may be used for detailing of gables and accent areas. Smooth painted stucco or masonry are discouraged but may be used if trim details achieve the appropriate scale and the Victorian articulation. Aluminum, composite and vinyl siding materials are expressly prohibited.
- Roofs: All roofs shall be pressed metal shingles, standing seam metal or corrugated sheet metal. All roofs shall be silver in color.
- Foundations/Skirting: Foundations may be either piers (preferred) or solid walls of brick, patterned brick, concrete or stucco masonry. When piers are used, the crawl space shall be skirted with wooden lattice or open brick lattice.
- Windows: Wood or vinyl clad wood, multi-paned in double hung, casement or fixed. Any glass other than clear or obscured clear shall be submitted for color approval. Stained glass may be used only as an accent feature in front door areas. Reflective glass is prohibited.
- Doors: Wood with multi-panes, multi-panels, ornamental carving, oval glass or stained glass. Flat panel, Jailhouse and Belair doors are prohibited.
- Shutters: Wood in New England hinged, Bahamian or movable louver (jalousie).
- Trim: Wood in simple classical to highly ornamental Victorian.
- Chimneys: Brick or silver metal.

## COLOR

White is the preferred basic color for all structures. Gray tones, cream tints, soft pastel colors and neutral bleaching oil are acceptable. Trim, shutters and window frames may be painted with complimentary darker shades. Dark green is the preferred trim color for white structures. Primary colors and bright tones are prohibited except as accents on front doors.

## C. Site Fixtures

Site Fixtures consist of those non-building structures, elements or items which complement the building and landscape planting, and include such items as lighting, signs, fences, gates, screens, walks, walls, bollards, benches, statuary, etc. It is the objective of the Committee that the Site Fixtures be designed so as to be compatible with all aspects of the site and Development.

### SIGNS

Only two types of permanent signs are permitted:

1. Project Sign: Each multifamily development shall have no more than one identification sign per driveway and pedestrian entrance. The sign shall conform to the design illustrated. The sign may be either flat painted wood, or routed or sandblasted painted wood. Each sign shall carry a logogram as shown and the name of the development. All signs shall be black lettering on white background or gold lettering on a dark green background. Signs may be mounted either on the building itself or a background fence.
2. Number Plates: Each dwelling unit shall carry a number plate. Each single family unit shall have a plate visible from the street and alley at both the front and rear gate. Each multi-family unit shall have a plate visible from the nearest walkway, preferably adjacent to the front door.

The location of signs shall be clearly shown and the design provided with the submittal package.

### LIGHTING

It is intended that the perimeter lights of each lot and parcel contribute to the project's lighting character.

### SITE LIGHTING

The intent of lighting for multi-family housing sites is to produce an adequate degree of lighting to insure safety and visual appeal. In providing a functional and aesthetic solution, the location, design of pole and fixture, and light intensity should be considered. The intensity, for example, may be varied, either increased or decreased, to change the mood on a court or walkway from that of a parking area. Crowded or tight spaces may require more light for adequate security.

Walkways can be lighted with either pole or bollard fixtures.

Additional fixtures or clusters can be added to a single pole to add emphasis at a plaza, walk intersection, courts, etc. Poles should be designed to blend with the site fixture system. Light fixture should be ornamented brass or painted metal.

## **PARKING AND SERVICE LIGHTING**

Parking lots should be lighted with a high enough intensity to discourage vandalism and help create security. The design of the pole and fixture could be coordinated with other site lighting. Poles must be protected from auto bumpers by placing them far enough away from bumper overhangs. Hooded lights are recommended for parking areas to increase efficiency. Care shall be taken in placing lights to avoid light penetration into adjacent sites.

## **FENCES/SCREENS/WALLS**

Site enclosure by ornamental fences and landscape planting is an essential part of the Key West vernacular. The primary street frontage of each lot and parcel shall have a wood picket or wrought iron fence system which permits an adult pedestrian to view the front of the yard or site. Front fences shall not exceed four (4) feet in height.

Rear yards of single family lots and multi-family parcels may be screened with wood or masonry enclosures, or planted hedges or vine trellises. Planted hedge or vine screens are preferred. Such screen enclosure structures shall not exceed six (6) feet in height. Articulation of the enclosure is desired; smooth, solid walls should not be utilized for more than 50% of a boundary.

## **ARBORS/TRELLISES/GAZEBOS**

The use of arbors, trellises and gazebos planted with vines as screens, parts of gates and general site fixtures is encouraged.

## **CAR PORTS**

Single family units may use carport designed integrally with adjacent screens, fences and arbors.

## **SWIMMING POOLS**

Swimming pools, hot tubs and spas shall be in ground and sited to be out of view from the adjacent street.

## **MECHANICAL EQUIPMENT**

All mechanical equipment (air conditioner compressors, tanks, electrical meter, etc.) shall be screened from view from streets and adjacent properties by fences, arbors or hedges. Through the wall and window air conditioner units are prohibited.

## **TRASH CONTAINERS**

All trash containers shall be screened from view by use of fences, walls or hedges.

## **WALKS AND PATIOS**

Brick or stamped concrete are the preferred material for pavement of residential walkways and visible patio areas.

## **PORCH AND LAWN FURNITURE**

All porch and lawn furniture that remains outside, unused, in view from the street shall be painted wood, wrought iron or another approved material. All other site fixtures, such as children's swing and play sets, shall be subject to design approval.

## **PROHIBITIONS**

The following site elements are expressly prohibited:

- Wire, chain link and barbed wire fencing
- Mailboxes
- Antennas
- Satellite dishes
- Clothes lines

## D. Landscape Planting

The provisions of this section are intended to promote and maintain the aesthetic character of Truman Annex and to provide for the preservation of the vegetation existing within Truman Annex. This section shall not be construed as to prohibit the use of creative design in landscaping. If a more creative design is presented which does not meet the requirements set forth herein to the strictest sense but lends itself to a more unique and aesthetically pleasing design, such plan may be approved. The plans, however, must meet the requirements of the City of Key West Landscape Ordinance.

### **EXISTING VEGETATION PRESERVATION**

The Owner shall make every effort to preserve existing vegetation on each site and site plans shall reflect this effort. Appropriate procedures consistent with the best practices of tree preservation must be employed at each site.

### **AREA GRASSING**

All portions of each site which are not devoted to building, paving, or special landscape features shall be grassed. Concrete, gravel or other paved front yards are not permitted. Bare earth areas are not allowed.

### **YARD (BUILDING PERIMETER) LANDSCAPING**

For the purposes of determining the minimum landscape requirements at the building perimeter, a five (5) foot zone is hereby created around each multi-family building constructed within Truman Annex. This zone is considered to exist around all projections of the building including screened service yards. Approved projections over ten (10) feet above finished grade such as balconies and roof overhangs will not be included in establishing this zone. The building perimeter zone shall be protected from and shall not include any vehlcular encroachment, driveways, aisles, or parking spaces.

The minimum building perimeter planting requirements consist of fifty percent (50%) of the area contained in this zone. One (1) tree shall be provided for each one hundred (100) square feet or the majority portion thereof contained in the landscape requirements. No more than twenty-five percent (25%) of the required landscape area may be grassed, the balance is to be landscaped in shrubs and ground covers.

The distribution of the landscape area shall be at the discretion of the Owner; however, the majority shall be located along building frontages facing public road rights-of-way. The minimum required landscaped area may be located outside the zone provided that such required building perimeter landscaping shall be located between the building and limits of the parking lot.

## **PARKING LOT LANDSCAPING**

Landscaping shall be provided within all parking lots or areas to the extent that not less than ten percent (10%) of the total nominal surface area of the parking lot shall be landscape. The majority of the landscaping shall be located within the dividing strips, starters, and indentations. All landscape areas shall be protected from vehicular encroachment by curbs or wheel stops.

The Owner is encouraged to consider the use of shrubs, ground covers, and berms in the landscape area of the parking lot, provided that such use shall be consistent at no more than three (3) feet above the adjacent driveway surface.

## **GRASSES**

All yard grasses shall be St. Augustine which may be installed by sod or sprigging. The term "Sodding" shall be construed to mean the application of a solid cover of sod upon the surface specified except where the landscape plan calls for an acceptable ground cover. Solid sod shall be used in swales or other areas subject to erosion.

## **GROUND COVER**

Ground covers may be used in lieu of grass sod and shall be planted in such a manner as to present a finished appearance and substantially complete coverage within six months after planting.

## **TREES**

Large trees, shall be of a species attaining an average natural spread of crown greater than twenty four(24) feet and trunks which can be maintained in a clean condition and with more than seven (7) feet of clear trunk. Trees having an average natural spread of crown of less than twenty four (24) feet may be substituted by a grouping that shall meet the spread requirements. Ornamental trees shall be of a species attaining an average natural spread of crown greater than twelve(12) feet. Palm trees may be utilized to meet the minimum requirements provided they are used at a ratio of three (3) palms to one (1) required tree.

## **VINES**

Vines shall be a minimum of thirty (30) inches in height immediately upon planting and staked when used against walls.

## **HEDGING AND SHRUBS**

Hedge material utilized for screening purposes herein defined shall be not less than thirty six (36) inches in height at time of planting and shall not be planted more than thirty (30) inches on center and shall be maintained to form a continuous, opaque visual screen. Materials selected shall attain a minimum four (4) feet height within one (1) year after planting and be capable of forming a closed hedge at six (6) feet in height.

Hedging material may be used to screen service parking and privacy yard areas. Hedging of side yard and rear yard lines is preferred over wall or fence screening of such yards. Combined planting and screen walk may be used at the discretion of the landscape architect and with approval of the Committee. Plant groupings shall be incorporated into the hedge to break up the continuous line of the hedge. All hedges should be designed to reach six ( 6) feet in height with taller intermittent plantings.

### **BERMS**

Landscape berms shall be permitted so long as such berms do not exceed three (3) feet in height and are sodded or planted at the time of construction. Where berms are used they shall be at least two (2) feet in height with additional landscaping at least one (1) foot in height.

### **APPROVED PLANT MATERIAL**

At least 70% of all plant material must be native or well adapted species.

### **VIOLATIONS**


Failure to properly maintain all landscape material and to promptly remove and replace any dead landscape material shall constitute a violation of the Declaration. Further, once a landscape plan has been approved by the Architectural Control Committee for a particular site, the Owner shall develop and maintain the site in strict accordance with the approved landscape plan. Upon approval by the Committee of the landscape plan and the construction plan, the Owner may not change or modify the plan or the site landscaping installed pursuant to such approved plan without the expressed, prior written approval of the Committee.

### **IRRIGATION**

The Owner shall have the option of installing, maintaining, and properly utilizing an automatically controlled landscape irrigation system for each site. If used, irrigation installation shall be performed by a contractor engaged full time in the installation of automatic underground irrigation systems. Such irrigation system shall be designed to conserve water and apply water in amounts appropriate to the plants and season. Irrigation devices shall not be installed above finish grade within roadside and pedestrian areas and adjacent roadway rights of-way in such a manner as to be hazardous to pedestrian traffic. The system shall be designed and maintained so as to keep off-site walks and roads dry. Rainwater collection and cistern systems which are traditional in Key West are recommended to conserve water.

### **LIMITATIONS**

All landscape materials shall be planted in a manner which will not impede or create a hazard for vehicular or pedestrian traffic, and shrubs planted between sidewalks and adjacent roadway curbs shall not attain a height in excess of thirty-six (36) inches at maturity. Landscape material shall not extend over a sidewalk more than twelve (12) inches from the property line below a height of seven (7) feet.

SUPPLEMENT TO GUIDELINES  
APPROVED BY BOARD  
01/19/00 - 

# DESIGN GUIDELINES FOR RESIDENTIAL PROPERTIES

ADDITIONS TO EXISTING BUILDINGS  
INFILL CONSTRUCTION

The Truman Annex  
Master Property Owner's Association, Inc.

January, 2000



## New Additions to Existing Residences in Truman Annex

### **GOAL: Retain Continuity & Integrity of Residential District**

- Although additions are usually acceptable, they should be undertaken only after it has been determined that the new use cannot be successfully met by altering non-character-defining interior spaces. If undertaken, additions should not significantly alter original distinguishing qualities of a building such as the basic form, materials, fenestration and stylistic elements.
- Additions should be clearly distinguished from original portions of a building and should result in minimal damage to it. Character-defining features of a building should not be radically changed, obscured, damaged or destroyed in the process of addition new construction.
- The size and scale of the new addition should be in proportion to the historic portion of a building and clearly subordinate to it. Additions should be attached to the rear or least conspicuous side of a building.

### **Standard 2 of Secretary of Interior's Standards and Guidelines**

**"The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided."**

- Retain Existing Residential Architectural Character, Siting & Scale characteristics
- In general, new additions should be harmonious in form and materials, siting and scale with the established district's residential character.

### **Standard 9 of Secretary of Interior's Standards and Guidelines**

**"New additions or related new construction shall not destroy materials that characterize a property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the integrity of the property and its environment."**

- New construction is appropriate as long as it does not destroy significant historic features, including designed landscapes, and complements the size, color material and character of adjacent buildings and their historic settings.

**Standard 10 of Secretary of Interior's Standards and Guidelines**

**New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the property and its environment would be unimpaired.**

**Insure the reversibility of New Alterations/Additions**

Under Standard 10, new additions should be constructed so that if removed in the future, the essential form and integrity of a building is uncompromised.

**II. Criteria for Review of Compatible Attached Additions**

**Relationship to Main Building**

• **Siting and Location**

- New exterior construction should be located to the rear or less visible elevation of the existing residential structure.
- Limit the size and scale of a new addition in relationship to the existing building.
- An attached exterior addition to a structure expands its "outer limits" to create a new profile. An exterior addition should be considered only after it has been determined that the new use cannot be successfully met by altering non-character-defining interior spaces.
- Place functions and services required for a new use in non-character defining interior spaces rather than installing a new addition.
- Avoid adding height to a building that changes its scale and character. Changes in height should not be visible when viewing the principal facades.

**Scale/Proportion**

- The size and scale of the new addition should be limited in relationship to the existing residential structure.
- Design additional stories, when required for a new use, that are set back from the wall plane and are as inconspicuous as possible when viewed from the street.

### **Original Design Character**

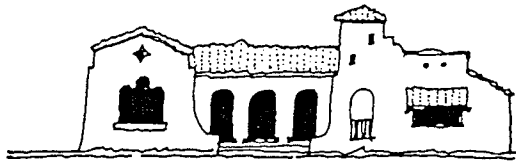
- The construction of new additions should be made so that character-defining features of the existing structure are not obscured or damaged.
- Avoid constructing new additions that result in the loss of the character of the resource, including its design, materials, workmanship, location and setting.
- Design for new work should be differentiated from the original building and be compatible in terms of mass, material, relationship of solids to voids and color.

### **Site Features: Parking and Driveways**

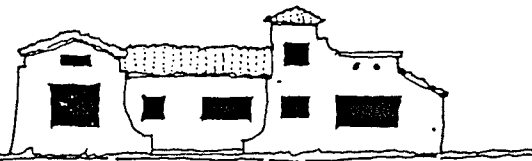
- Use existing alleys to provide access to buildings.
- Limit parking to the rear or side of buildings.
- Construct new curb cuts and street side driveways only areas where they existed historically.
- Use appropriate materials for driveways such as concrete poured in ribbons or brick.
- Avoid pebble surfaced concrete, or other non-historic paving materials .

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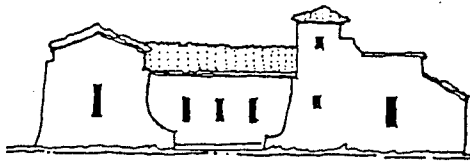
ILLUSTRATION: ALTERATION OF CHARACTER-DEFINING FEATURES



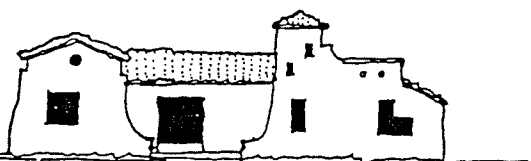
*Original "model" architecture*



*Center loggia filled in, windows replaced*



*Center loggia filled in, windows replaced, proportions radically altered*



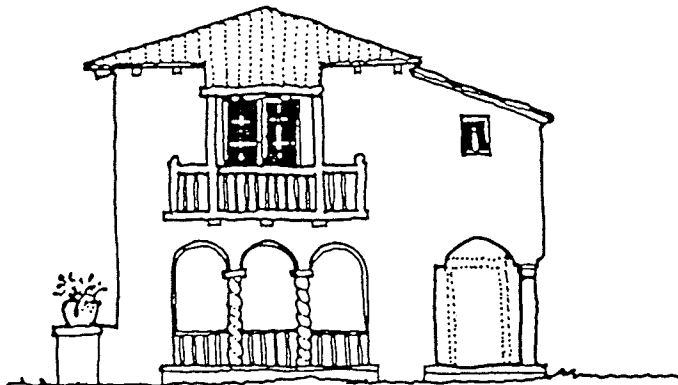
*Loggia partially infilled, window dimensions and configurations changed*

Note the dramatic differences achieved when window proportions and shape are changed, and the center loggia infilled.

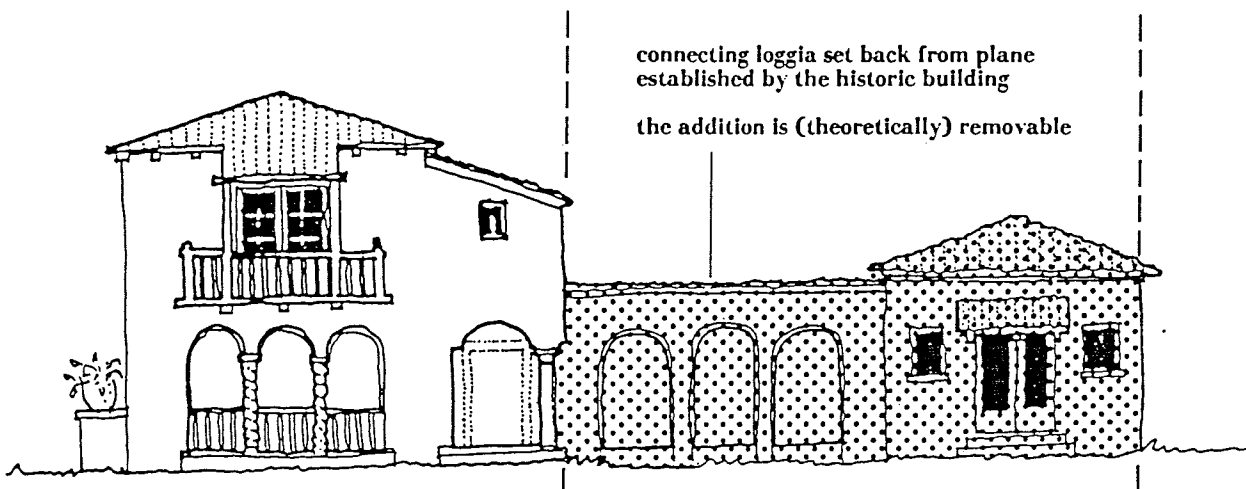
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STANDARD #10

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



*Historic residence before addition*



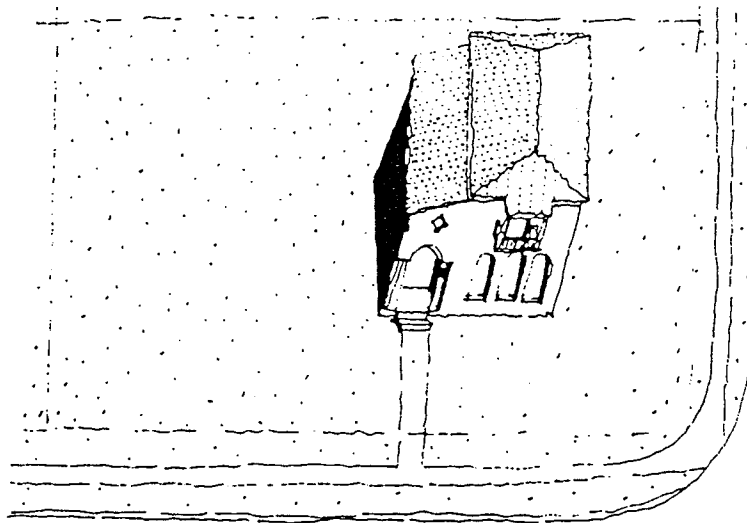
*Historic residence after addition*

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EXAMPLE: ADDITION ON A CORNER LOT

Applicable standards #9 and #10 illustrating compliance with:

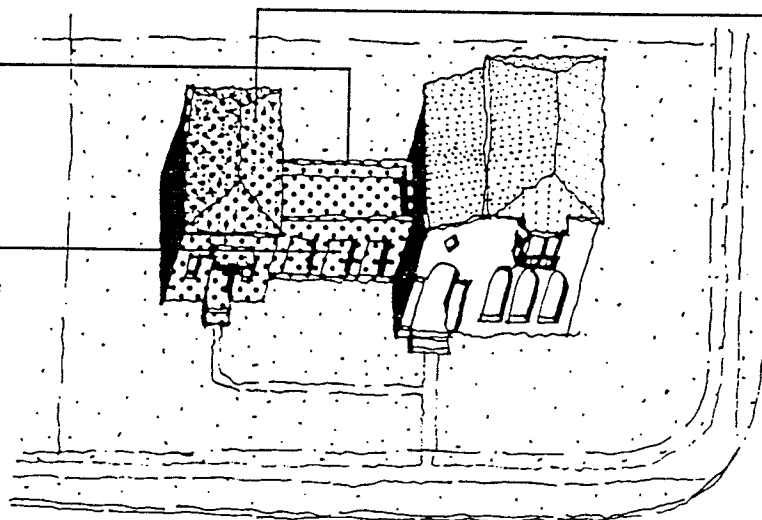
- (A) Differentiation
- (B) "Removability"
- (C) Compatibility with scale and massing



*Historic building before addition*

flat roofed "link"  
recessed from plane of  
historic building

square-headed arches  
provide a subtle  
distinction that a  
transition is being made



Hipped roof of the  
addition mirrors that  
of the historic  
building, but the  
addition is made  
smaller in scale so as  
to "read" as a  
secondary element

*Historic building after addition*

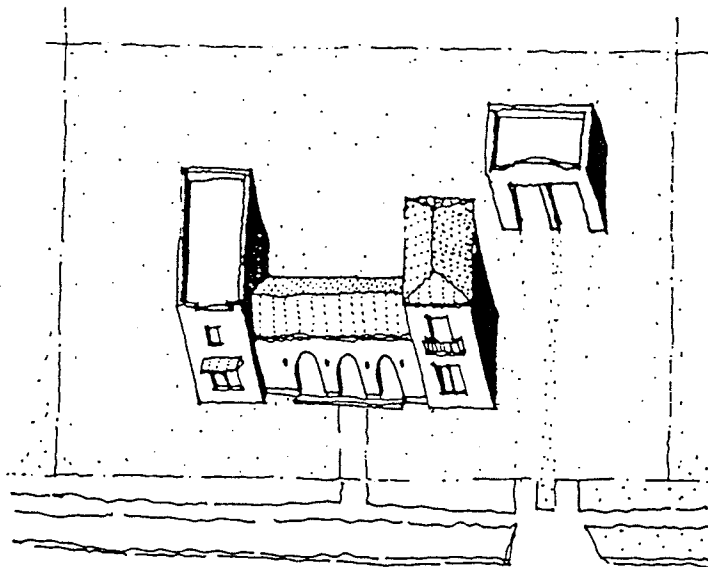
Corner lots pose special design problems as the addition will most likely be visible from any perspective. In these instances, the use of a connecting "link" is especially important as it clearly makes the transition between the old and new. By recessing the linkage element, the historic integrity of the architect

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EXAMPLE: ADDITION ON AN INTERIOR LOT

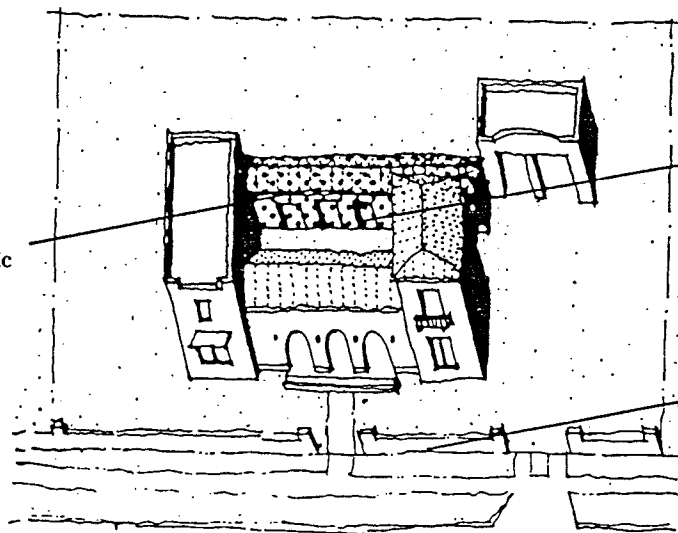
Applicable standards #9 and #10 illustrating compliance with:

- (A) Differentiation
- (B) "Removability"
- (C) Compatibility with scale and massing



*Historic building before addition*

addition is lower in height  
thus emphasizing the  
predominance of the historic  
architecture



square headed arches  
provide a subtle but  
discernible distinction

note perimeter wall is of a  
simple design so as not to  
detract from the residence  
itself

*Historic building after addition*

In this illustration, the addition to the rear functions as a discrete element within the overall composition.

## II. Criteria for Review of Compatible Infill Construction

### **GOAL: Retain Continuity & Integrity of Residential District**

“Infill” refers to new construction designed to fill gaps in the streetscape. When designing an infill structure, the goal is compatibility, not mimicry.

Compatibility is achieved by identifying common characteristics of the new design. Those characteristics include:

- Site and Environment
- Scale
- Roof Pitch
- Material and finishes
- Height
- Massing
- Window types and placement
- Relationship of voids and solids

### **Standard 2 of Secretary of Interior’s Standards and Guidelines**

**“The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.”**

\*Retain Existing Residential Architectural Character, Siting & Scale characteristics

\*In general, new buildings should be harmonious in form, material, siting and scale with the established district’s residential character.

### **Standard 9 of Secretary of Interior’s Standards and Guidelines**

**“New additions or related new construction shall not destroy materials that characterize a property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the integrity of the property and its environment.”**

\*New construction is appropriate as long as it does not destroy significant historic features, including designed landscapes, and complements the size, color material and character of adjacent buildings and their historic settings.

### **Standard 10 of Secretary of Interior’s Standards and Guidelines**

**New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the property and its environment would be unimpaired.**



## Criteria for Reviewing New Construction in Truman Annex

### **Site and Environment**

The relationship between an existing residence and the features of the site and its environment are an integral part of creating the character of the property. Site characteristics include: setbacks, driveways, walls, fountains, courtyards, plants and trees and open green space.

When designing new features, care should be taken that:

- They do not disturb important pre-existing features
- They do not detract from the main focus of the property itself

### **Orientation**

Align the facade of the new building with the established setbacks of the area.

### **Setback**

In locating new buildings, the side and rear setbacks should be maintained and aligned with the facades of surrounding historic buildings.

### **Height**

The height of buildings in the district, particularly at block level, is similar. The height of new construction should be compatible with surrounding buildings.

### **Width**

Building or lot width is another important visual quality. This results in common-sized structures and a characteristic rhythm. The width of new construction should be compatible with surrounding buildings.

Where new building facades will be wider than those found traditionally, subdivide the surface into portions similar in scale to historic or existing facades by varying setbacks, roof forms and materials.

### **Form and Scale**

New buildings should appear similar in mass and scale with existing structures in the area.

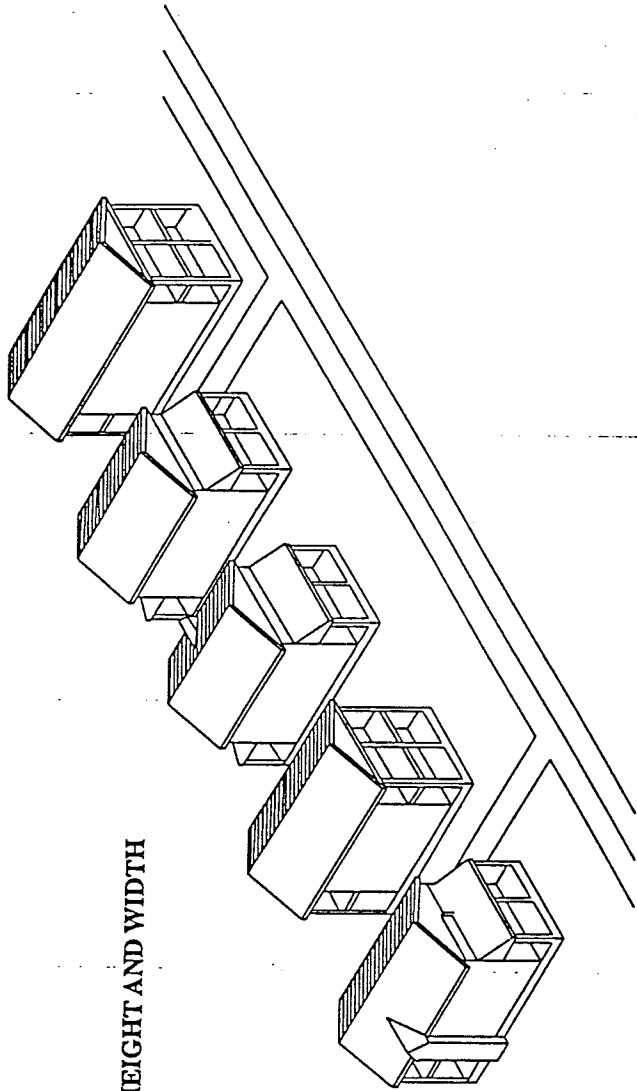
### **Forms and Roof Forms**

Use building forms and roof forms that match those used historically.

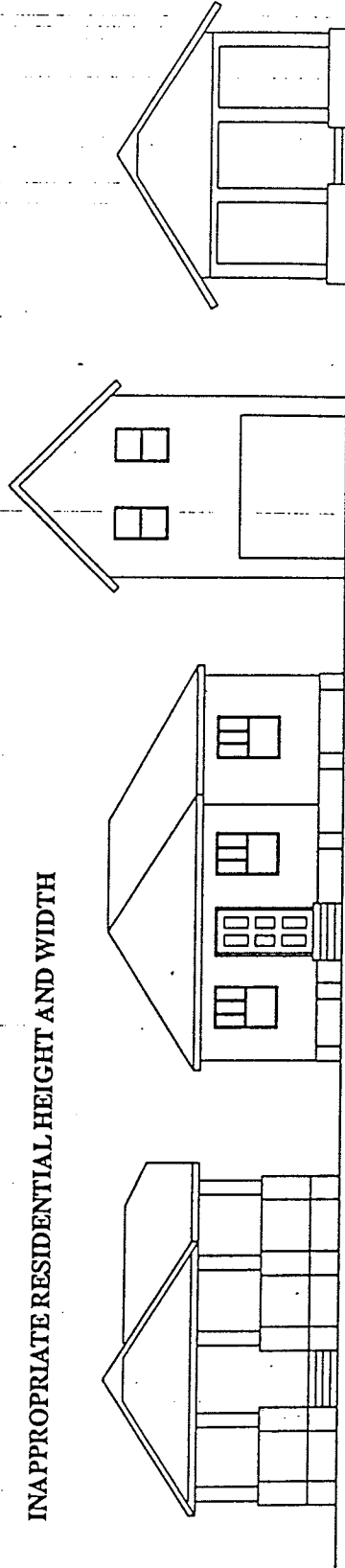
### **Proportion of Openings**

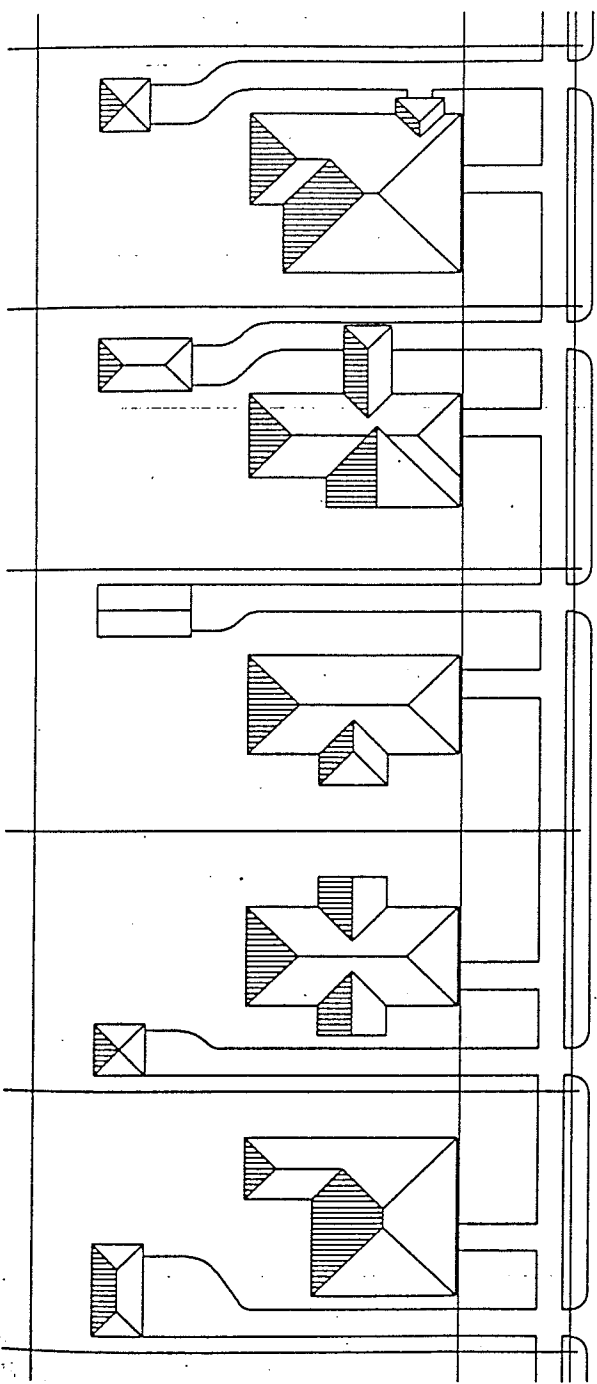
Window openings in historic districts often share similar size, spacing and shape. In many buildings, particularly the Colonial Revival and other classically inspired styles, they are stacked, with a narrow space between them. In designing new construction, the proportion and spacing of openings on adjacent buildings should be maintained.

APPROPRIATE RESIDENTIAL HEIGHT AND WIDTH

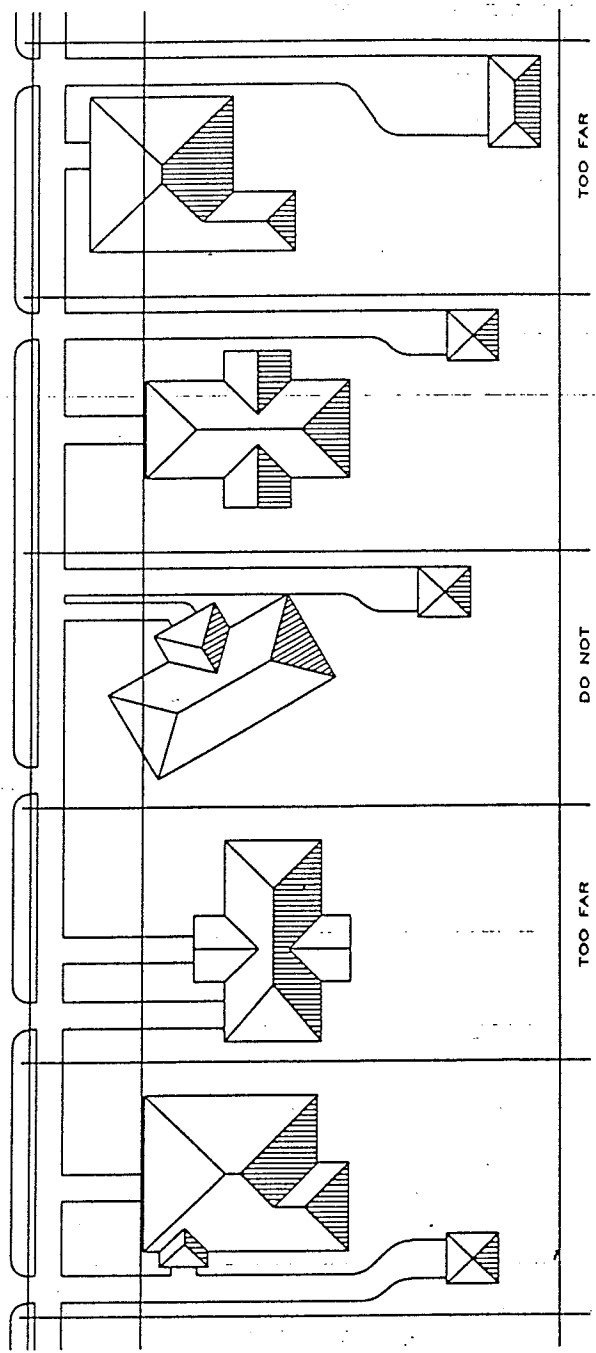


INAPPROPRIATE RESIDENTIAL HEIGHT AND WIDTH

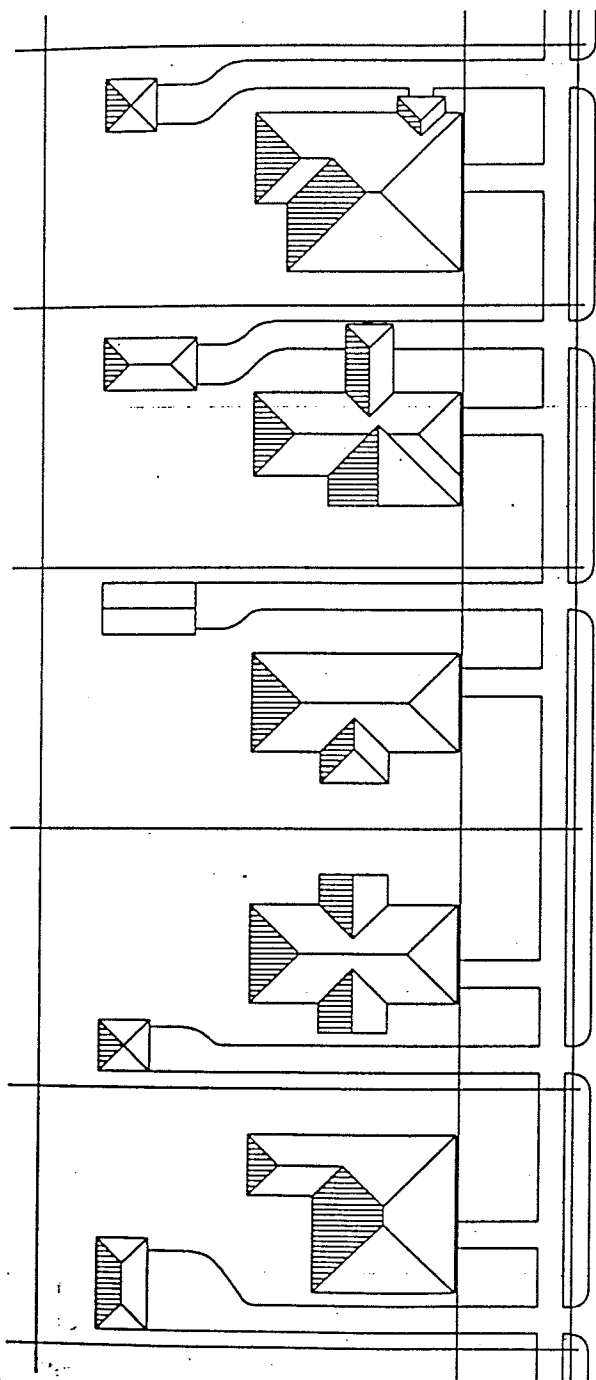




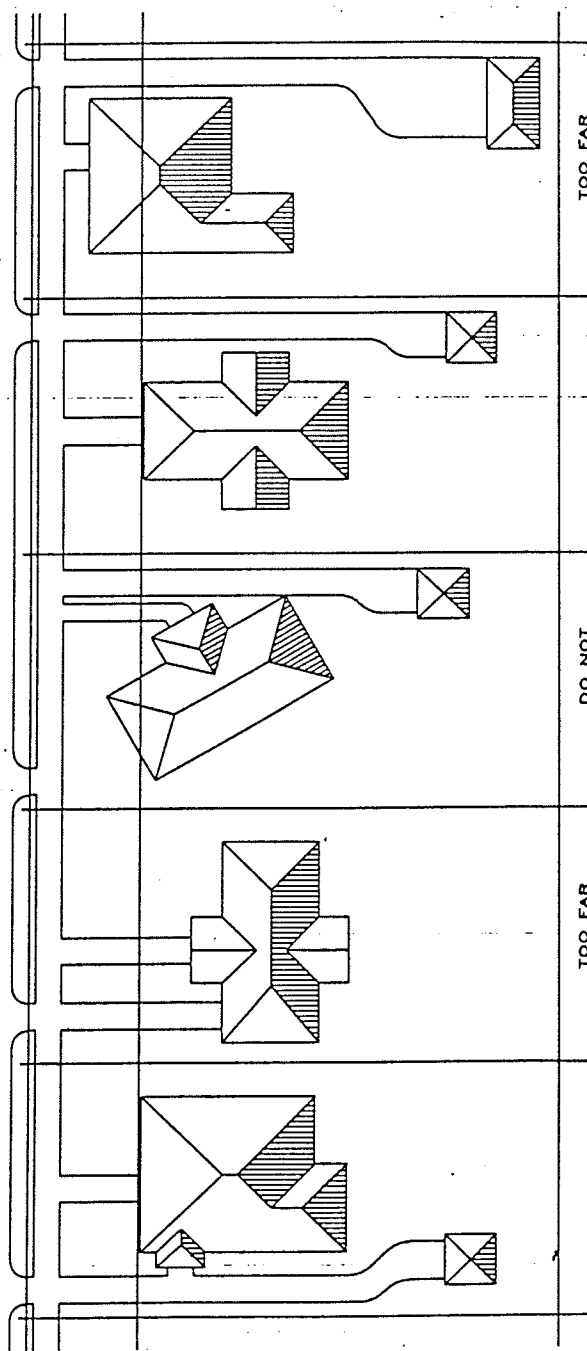
APPROPRIATE RESIDENTIAL PLAN



INAPPROPRIATE RESIDENTIAL PLAN



APPROPRIATE RESIDENTIAL PLAN

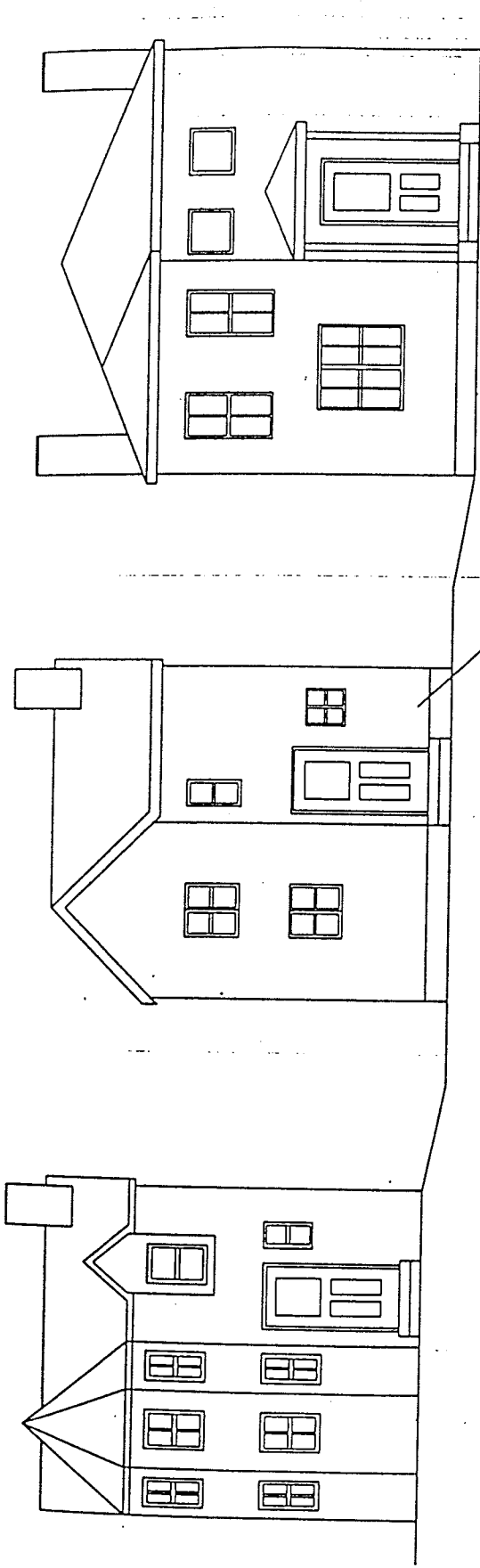


TOO FAR FORWARD

DO NOT ANGLE

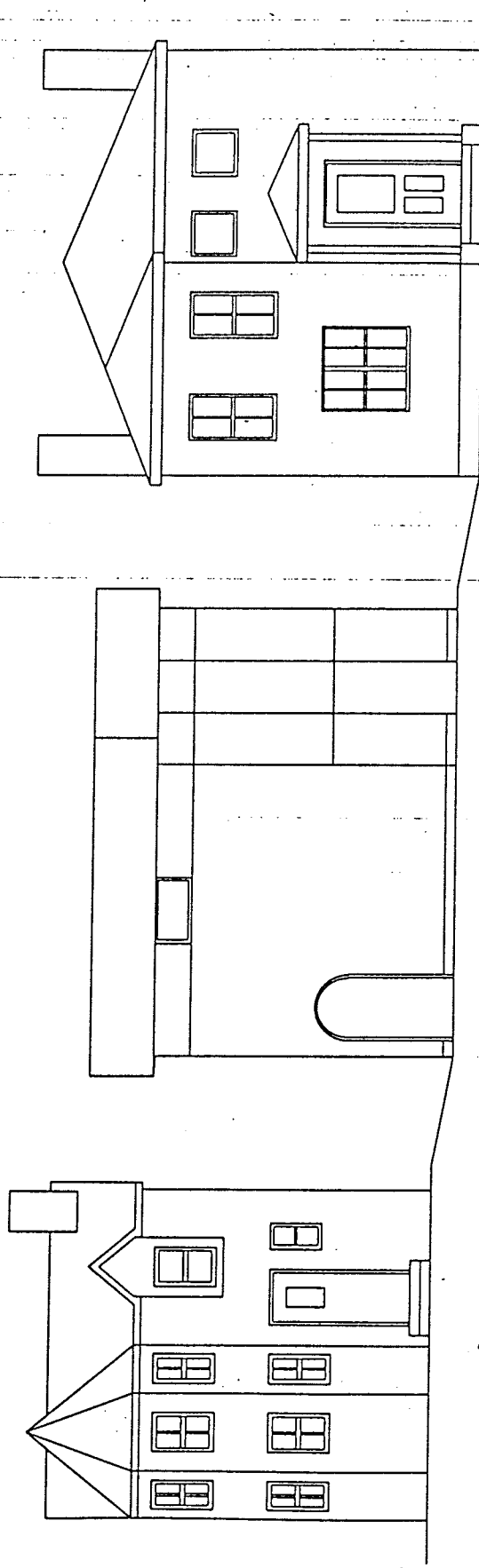
TOO FAR BACK

INAPPROPRIATE RESIDENTIAL PLAN



APPROPRIATE RESIDENTIAL HORIZONTAL RHYTHMS

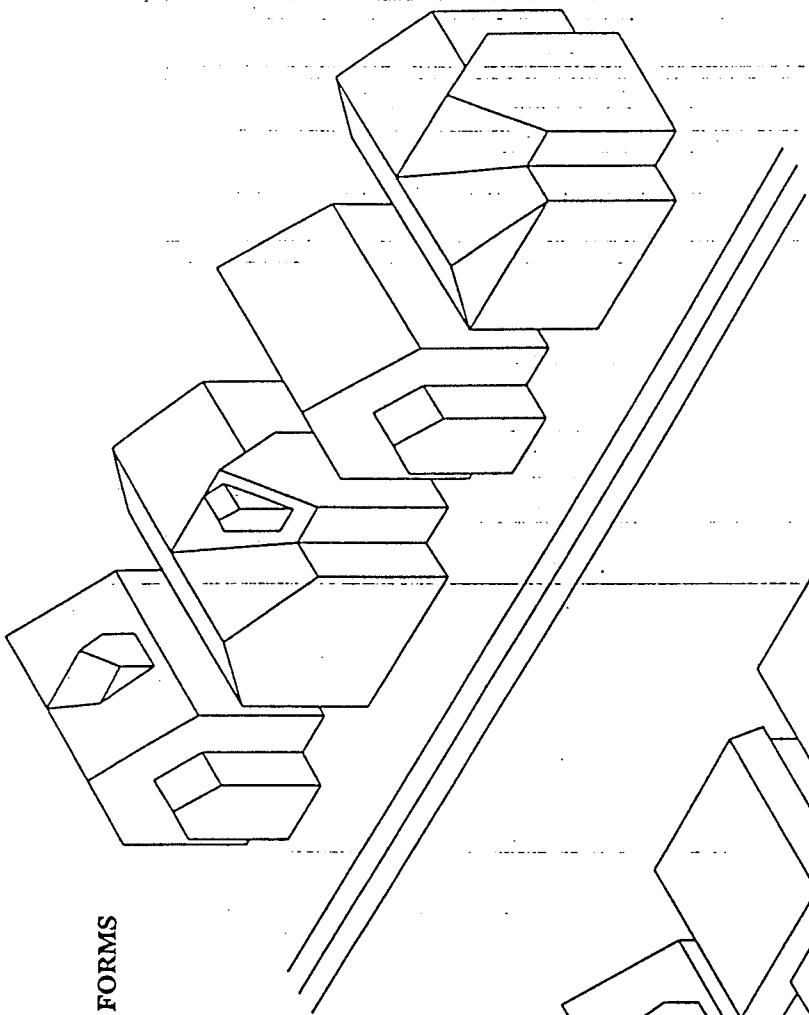
NEW INFILL RESIDENCE



INAPPROPRIATE RESIDENTIAL HORIZONTAL RHYTHMS

APPROPRIATE RESIDENTIAL ROOF FORMS

APPROPRIATE RESIDENTIAL ROOF FORMS



INAPPROPRIATE RESIDENTIAL ROOF FORMS

